

Date: June 12, 2024

ADDENDUM NUMBER TWO

City of Lyndon
Police Headquarters
LYN.2301

This addendum shall form a part of the Contract Documents and modifies the original Bidding Documents as prepared by LMH Architecture, PLLC dated June 12, 2024 and all previously issued addenda. Acknowledge recipient of this Addendum in the space provided on the Bid Form. Failure to do so may subject Bidder to disqualification.

Clarification Items:

1. None at this time.

Questions:

1. Is a bid bond required?
 - a. No.
2. What product is spec'd for the "prefinished metal fascia" & "prefinished unvented metal soffit". Is this the same manufacturer as the metal wall panel? Color?
 - a. Refer to Spec Section 07 71 23 for the metal fascia.
 - b. Refer to Spec Section 07 41 13 for the metal soffit.
 - c. The color is intended to match "Citadel, Kynar 500, Mica, Gun Metal". The Architect will select the final color from the manufacturers complete range of colors.
3. The exterior finish legend has 3 materials (aluminum composite panel, interlocking metal panel, and 26-gauge rib metal siding).
 - a. Correct.
4. We are not seeing the rib metal siding spec'd out anywhere on exterior elevations.
 - a. The rib metal siding is located on the backside of the elevator parapet. Refer to the West elevation on A8.1, and section 1 on A9.1.
5. It is quite difficult to decide what is interlocking metal panel versus aluminum composite.
 - a. The interlocking metal panels are located above the storefront section E on the North and South Side of the building, and in the roof gable on the North side of the building. Refer to A8.1 elevations.
6. The basis of design is for the TK Endura MRL Hydro which has hydraulic pump unit in the rear of the pit and the controller inside the shaft on the second landing. Several elevator companies cannot provide that design. Their manufacturer's design requires a 3'-6" wide man door on the side of the shaft.
 - a. A man door located in Storage 008 is acceptable.

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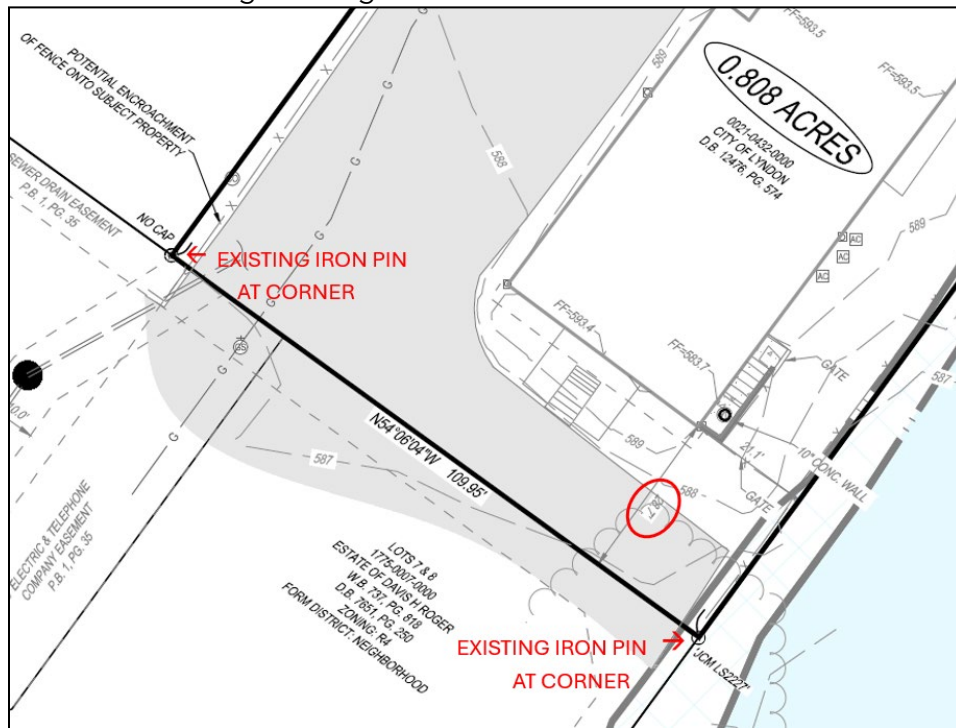
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7. Attached are mock hoist way drawings. This hydraulic pump is on the inside of the shaft. It is still a machine room less elevator. There is a 1'-6" deep control closet on the side of the shaft. However, we CAN eliminate the closet by having the 3'-6" man door recessed in the shaft wall. We would install a steel shroud, bolted to the inside of the shaft, that is used to mount our controller, main line and cab light disconnects to. The pump unit is directly at your feet when you open the door to allow access to the control valve in a safe and responsible manner. See the snip image attached also, to show how everything is mounted to the shroud. This is very similar to the OTIS HydroFit design.
 - a. This is an acceptable substitution as long as the performance specifications in section 14 24 00 are still met. Contractor to coordinate associated work with all trades.
8. The schedule on the HVAC equipment - Page M4.0, Note 9 states, "provide unit with communication interface. Contractor to coordinate with temp control provider to connect to BMS." We cannot find any reference to any control work other than the thermostats for each respective system. We cannot find any sequence of operation or reference to work by an independent controls contractor. Need clarification on this along with the same schedule that calls out CU-106 outdoor unit as 1-phase, while all other units are indicated as 3-phase.
 - a. Refer to M4.0 Schedule of Condensing Units/Heat Pumps. Delete Note 9. Building does not have a building management system. Units shall be stand alone 7-day programmable thermostats.
 - b. Refer to M4.0 Schedule of Condensing Units/Heat Pump, Unit CU-016 is single phase as unit nominal capacity is 030.
9. Basement HVAC Plan has a note for AHU-001A and 001B ductwork to be insulated with 1/2" closed cell foam insulation. Are alternate insulations acceptable? Does this note apply only to these (2) AHU's, or all AHU's in Basement?
 - a. Refer to M2.0 Basement HVAC Plan, Ductwork from AHU-001A and 001B is called out as 1/2" closed cell foam. Alternate insulation is acceptable. The intent is to save space over the typical 1.5" thick fiberglass insulation for the construction of the bulkhead to cover the duct routing.
10. Please clarify how Alternate #1 applies to the Mechanical scope. Alt #1 to include Mechanical 006, Armory 014, and Mechanical 021. Should MC include equipment in Mechanical rooms only as well as SA duct main to Armory 014?
 - a. Refer to Sheet X1 for Alternate 1 description of Mechanical Scope.

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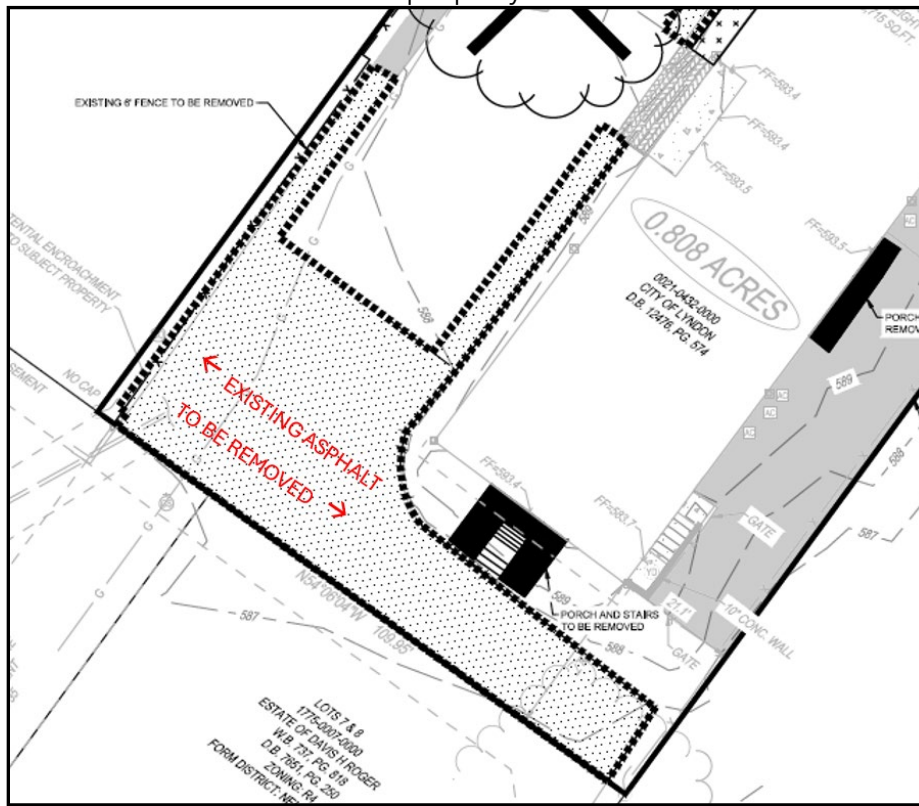
11. Where is the property line on the south end of the property line? This will affect the footage of the new 8'h privacy fence. (See pictures attached in email.)
 - a. The south property line is indicated on sheet C100 Existing Conditions. It is monumented by two property corners. It is approximately 28.7 feet south of the south face of the existing building. See below:



- b.
 12. There are 2 fence lines on the western side of the property. Which fence line will be removed for the new Privacy fence?
 - a. Both fences appear to have been constructed by the adjoining property owner and are encroaching on the subject property. Both will have to be removed and replaced with the new privacy fence constructed on the property line.
 - b. Note: The City of Lyndon will inform the adjoining property owner that the existing fences are encroaching on the City's property and must be removed to allow for proposed construction.

13. Will the asphalt on the south end of the building be removed?

- a. Yes. Refer to sheet C200 Demolition Plan for limits of asphalt to be removed. Asphalt is to be removed to the south property line. See below:



b.

14. Existing chain link fence on east side of property is falling over. Highly recommended replacing to match 8' H wooden privacy fence for proper cosmetic appearance or at least remove chain link fence completely. Your thoughts?

- a. The existing chain link fence is to be demolished. See below for Alternate 4.

15. The original drawings from earlier this year - Sheet a9.2 "Wall Sections" #2 showed the Scheduled Sill linked to = (10 / a9.20) . The revised scope drawings no longer shows the scheduled sill on sheet a9.2 or on a9.20. Will you let us know where to find the Scheduled Sill?

- a. See below for revised ID0.1 sheet with detail.

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16. What General Contractors are bidding on this project?

- a. Due to the public nature of this project, LMH does not have a plan holder list. We have received interest and correspondence from the following General Contractors, but can not guarantee they will participate. The list includes but is not limited to:
 - i. Calhoun Construction
 - ii. Buffalo Construction
 - iii. AL Post
 - iv. Schaefer
 - v. Miranda Construction

Changes to Specifications:

1. 00 41 00 - Bid Form
 - a. Replace section. Alternate 4 has been added.
2. 01 23 00.01 - List of Alternates
 - a. Replace section. Alternate 4 has been added.

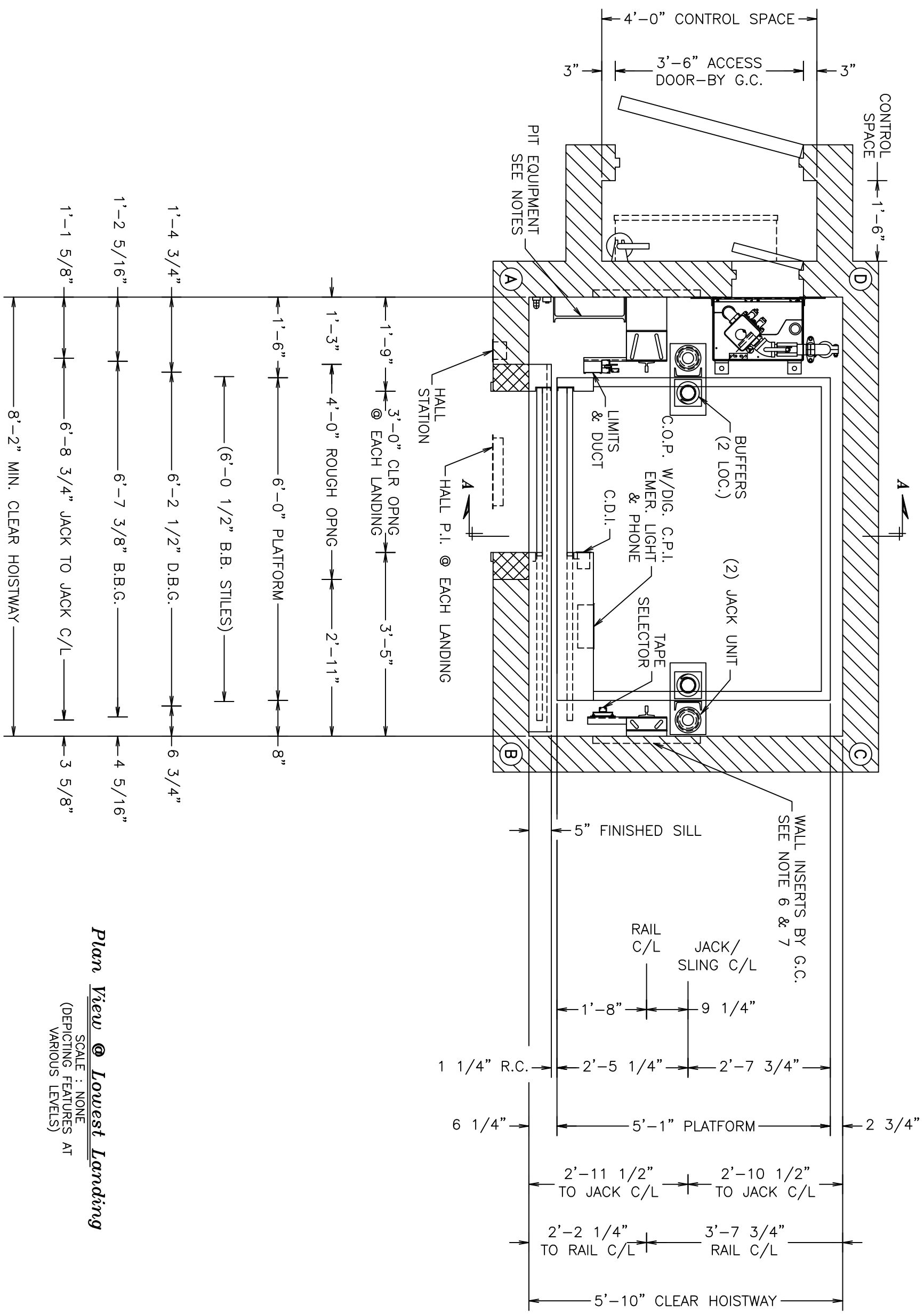
Substitution Requests:

1. The Alfrex FR Metal Composite Material is an approved metal composite material wall panel substitute for spec section 07 42 13.

Changes to Drawings:

1. X1 - Cide Criteria
 - a. Replace sheet. Alternate 4 has been added.
2. ID0.1 - Finish Legend and Schedule
 - a. Replace sheet. Window sill detail has been added.

End of Addendum Number Two



Plan View @ Lowest Landing

SCALE : NONE
(DEPICTING FEATURES AT VARIOUS LEVELS)

- PIT EQUIPMENT:
- a) PIT LADDER (BY G.C.)
 - b) PIT STOP SWITCH (BY ELEV. CONTR.)
 - c) PIT LIGHT & SWITCH (BY ELEC. CONTR.)

IF THE JOB SITE IS IN A SEISMIC RISK ZONE 2 OR GREATER, A PIPE RUPTURE VALVE IS REQUIRED IN ACCORDANCE WITH ASME/ANSI A17.1.

A SUMP OR DRAIN IS REQUIRED IN THE PIT WITH PROPER DISCHARGE AS PER ASME/ANSI A17.1.
AN AREA OF 5.49 SQUARE FEET (NOT LESS THAN 24 INCHES ON ANY SIDE) IS TO BE LOCATED ON THE CAR TOP WHERE 43 INCHES MINIMUM OF VERTICAL CLEARANCE EXIST WITH THE CAR AT ITS MAXIMUM LIMIT OF TRAVEL. THIS AREA IS TO BE INDICATED ON THE CAR TOP AS REQUIRED BY ASME/ANSI A17.1.

THE RAILS FOR THIS JOB ARE APPROXIMATELY 16'-0" LONG. MAKE SURE THAT THIS LENGTH COMPONENT CAN BE MOVED THROUGH THE JOB SITE INTO THE HOISTWAY.

DATE	BY	CHKD	DESCRIPTION
4-3-17	BAH		ORIGINAL

PROJECT

TRADESMAN

2000# HYDRO MRL

CONTRACT No.

SHEET No. 1 OF 1

LOCKABLE 120VAC ELEVATOR
LIGHTING FUSED DISCONNECT
(BY ELEC. CONTR.)

7'-0" CLEAR CONTROL SPACE

1'-6 3/8"
CUTOUT

1'-8"

CONTROLLER
w/ STARTER

FIRE RATED
CONTROL SPACE

MAIN ELEVATOR POWER
DISCONNECT & WIRING
STARTER BY ELEC. CO

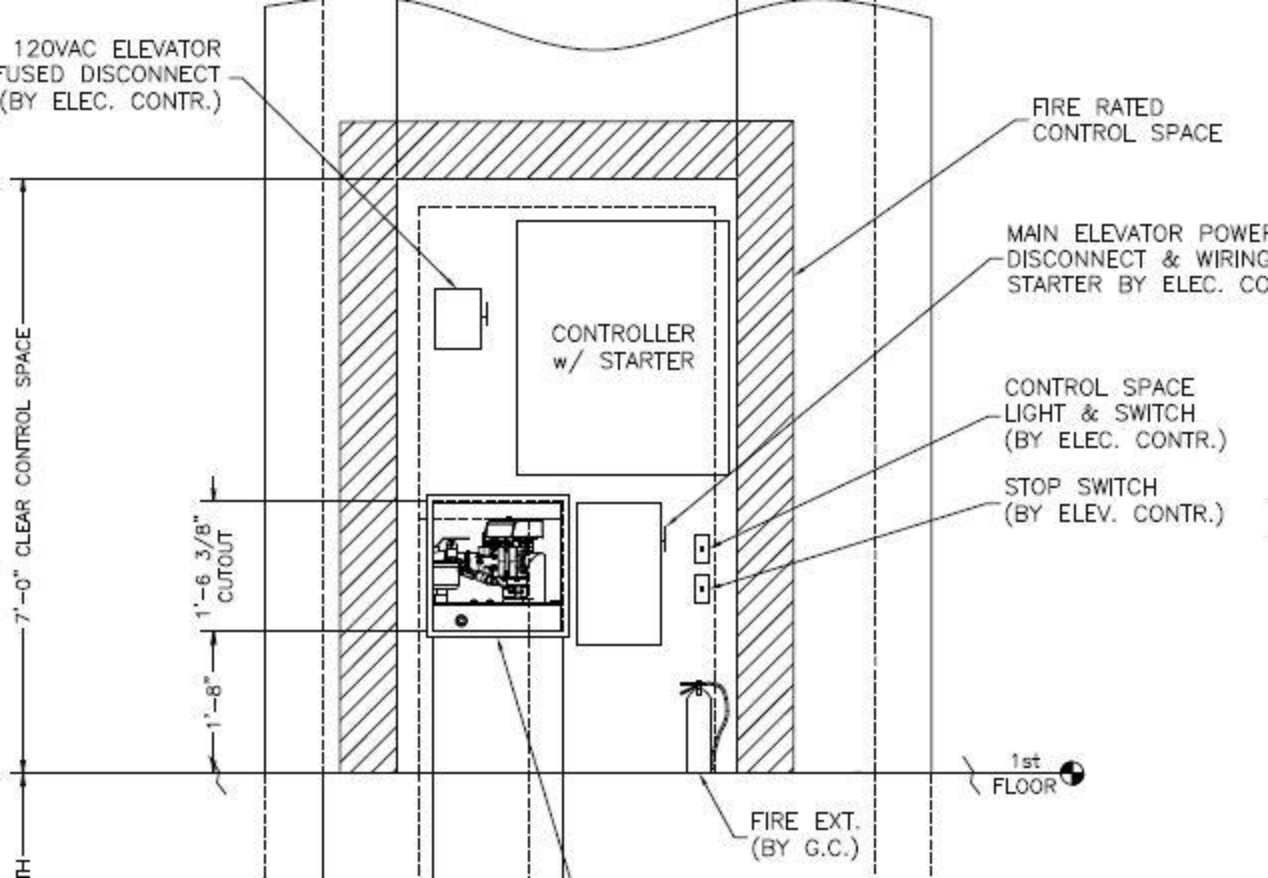
CONTROL SPACE
LIGHT & SWITCH
(BY ELEC. CONTR.)

STOP SWITCH
(BY ELEV. CONTR.)

FIRE EXT.
(BY G.C.)

1st
FLOOR

TH



**SECTION 00 41 00
BID FORM**

THE PROJECT AND THE PARTIES

1.01 TO:

A. City of Lyndon (Owner)

1.02 FOR:

A. Project: Police Headquarters
908 Ormsby Lane
Lyndon, Kentucky 40222

1.03 SUBMITTED BY: (BIDDER TO ENTER NAME AND ADDRESS)

A. Bidder's Full Name _____
1. Address _____
2. City, State, Zip _____

1.04 OFFER

A. Having examined the Place of The Work and all matters referred to in the Instructions to Bidders and the Bid Documents prepared by LMH Architecture, PLLC for the above mentioned project, we, the undersigned, hereby offer to enter into a Contract to perform the Work for the Sum of:

B. _____ dollars
(\$ _____), in lawful money of the United States of America.

C. All Cash Allowances described in Section 01 21 00 - Allowances are included in the Bid Sum.

1.05 ALTERNATES LIST

A. The following amounts shall be added to or deducted from the bid amount. Refer to section 00 23 00 - Alternates.
1. Alternate 1: Add / (Deduct) \$ _____
2. Alternate 2: Add / (Deduct) \$ _____
3. Alternate 3: Add / (Deduct) \$ _____
4. Alternate 4: Add / (Deduct) \$ _____

1.06 ACCEPTANCE

A. This offer shall be open to acceptance and is irrevocable for thirty days from the bid closing date.

1.07 CONTRACT TIME

A. If this Bid is accepted, we will:
B. Complete the Work in _____ calendar days from Notice to Proceed.

1.08 ADDENDA

A. The following Addenda have been received. The modifications to the Bid Documents noted below have been considered and all costs are included in the Bid Sum.

1. Addendum # _____ Dated _____.
2. Addendum # _____ Dated _____.
3. Addendum # _____ Dated _____.
4. Addendum # _____ Dated _____.
5. Addendum # _____ Dated _____.

1.09 BID FORM SUPPLEMENTS

- A. The following Supplements are attached to this Bid Form and are considered an integral part of this Bid Form:
 - 1. Document 00 43 36 - Proposed Subcontractors Form: Include the names of all Subcontractors and the portions of the Work they will perform.
- B. We submit the following documentation to:
 - 1. Demonstrated effectiveness and reliability in similar projects.
 - 2. Examples of the quality of prior work.
 - 3. Recommendations from previous clients.
 - 4. Evidence that the contractor has the resources (currently available manpower, equipment, knowledge and experience) to complete the project in the time frame required.
- C. We agree to submit the following Supplements to Bid Forms within 1 hours after submission of this bid for additional bid information. If the items are not received, the bid is subject to disqualification.
 - 1. Document 00 43 73 - Proposed Schedule of Values Form identifies the Bid Price/Sum segmented into portions as requested. Provide both the excel file and pdf.

1.10 BID FORM SIGNATURE(S)

- A. The Corporate Seal of

(Bidder - print the full name of your firm)
- B. Authorized Signature:

(Handwritten signature)
- C. Signed By:

(Type or Print Name, Title)

END OF SECTION

**SECTION 01 23 00.01
LIST OF ALTERNATES**

1.01 ALTERNATE 1

- A. Base Bid: Finish out the basement as indicated on the drawing.
- B. Alternate: Provide a line-item cost to eliminate all areas and associated work in the basement except for Closet 002A, Stair 004, Mechanical 006, Elevator 007, Stair 012, Armory 014, and Mechanical 021.

1.02 ALTERNATE 2

- A. Base Bid: Install elevator equipment.
- B. Altnerante: Do not install elevator equipment. Infastructure to be constructed.

1.03 ALTERNATE 3

- A. Base Bid: Install 15# felt paper, architectural 3-tab fibergall shingles, and continuous ridge cap.
- B. Alternate: Install metal roof.

1.04 ALTERNATE 4

- A. Base Bid: Demolish chainlink fence along east side of property.
- B. Alternate: Provide 8'H wooden privacy fence along east side of property where chainlink fence is demolished.

END OF SECTION

Project Information

PROJECT INFORMATION

FACILITY: CITY OF LYNDON

PROJECT: POLICE HEADQUARTERS RENOVATION

PROJECT NUMBER: LYN2301

PROJECT DESCRIPTION:

THE PROJECT WILL CONSIST OF A RENOVATION OF APPROXIMATELY 12,500 SQUARE FEET. THE PROJECT SCOPE IS PLANNED TO INCLUDE OFFICES, PUBLIC SPACE, STAFF SUPPORT AND TRAINING SPACES, AND COMMUNITY SPACE. THE SCOPE ALSO INCLUDES SITE IMPROVEMENTS FOR BUILDING ACCESSIBILITY, PARKING, AND STORM WATER MANAGEMENT FOR THE ADDED IMPERVIOUS SURFACE AREA. WHERE REQUIRED, SPACES WILL BE DESIGNED TO BE FULLY HANDICAP ACCESSIBLE TO COMPLY WITH CURRENT ADA AND ANSI REQUIREMENTS.

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e5.0	Low Voltage Details

Applicable Codes

BUILDING CODE:
2015 KENTUCKY BUILDING CODE
(2015 IBC WITH AMENDMENTS)

LIFE SAFETY CODE:
2012 NFPA 101 - LIFE SAFETY CODE

ACCESSIBILITY CODE:
2009 ANSI A117.1 WITH AMENDMENTS

FIRE CODE:
2015 INTERNATIONAL FIRE CODE
KENTUCKY STATE PLUMBING LAW, 815 KAR CHAPTER 20

MECHANICAL CODE:
2015 INTERNATIONAL MECHANICAL CODE

ELECTRICAL CODE:
2017 NFPA 70 - NATIONAL ELECTRIC CODE

ENERGY CODE:
2012 INTERNATIONAL ENERGY CONSERVATION CODE

FUEL AND GAS CODE:
2012 NATIONAL FUEL GAS CODE

SPRINKLERS: 2013 NFPA 13 - INSTALLATION OF SPRINKLERS SYSTEMS

Building Classification

OCCUPANCY:
CLASSIFICATION (I.B.C.): B - BUSINESS

FULLY SPRINKLED: PER NFPA 13

TYPE OF CONSTRUCTION:
INTERNATIONAL BUILDING CODE: VB

PROJECT SQUARE FOOTAGE:

	ALLOWABLE	ACTUAL
BASEMENT - RENOVATION	36,000 SF	6,000 SF
GROUND FLOOR - RENOVATION	36,000 SF	6,000 SF
GROUND FLOOR - NEW CONSTRUCTION		500 SF
TOTAL		12,500 SF

BUILDING HEIGHT: 3 STORIES OR 60' 1 STORIES/20'-4"

BUILDING ELEMENTS - FIRE RESISTANT REQUIREMENTS VB

RATING

FIRE WALLS: 0 HR

STRUCTURAL FRAME BEARING WALLS: 0 HR

EXTERIOR INTERIOR: 0 HR

BEAMS: 0 HR

COLUMNS: 0 HR

NON-BEARING WALLS: 0 HR

EXTERIOR INTERIOR: 0 HR

FLOOR CONSTRUCTION: 0 HR

ROOF CONSTRUCTION: 0 HR

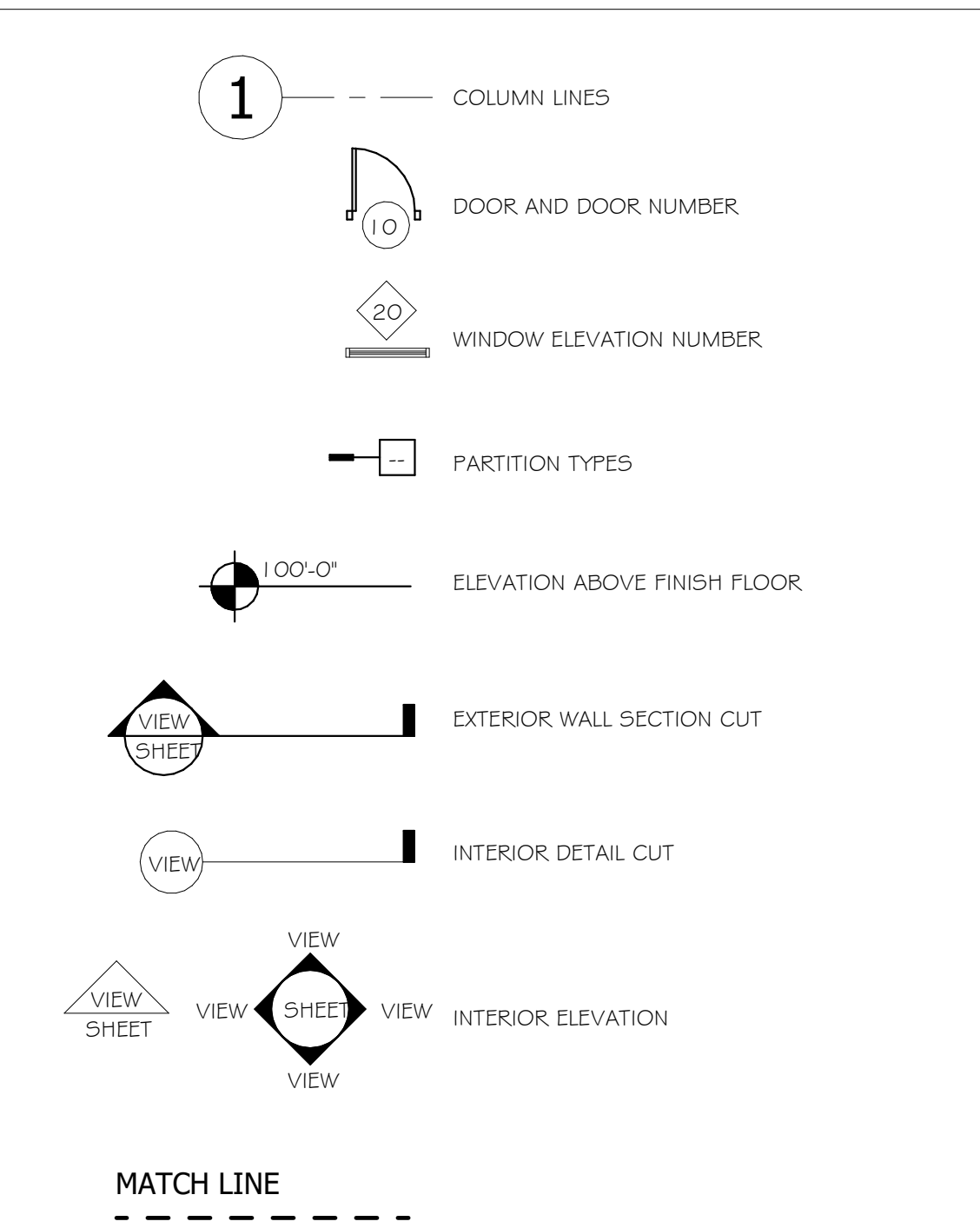
Materials Legend

	EARTHFILL
	CONCRETE
	CONCRETE MASONRY UNIT
	STEEL
	WOOD BLOCKING
	FINISH WOOD
	PLYWOOD/PARTICLE BOARD
	INSULATION BOARD
	BATT INSULATION
	EXTERIOR INSULATION FINISH SYSTEM
	GYPSUM WALLBOARD

Abbreviations

AF	ABOVE FINISHED FLOOR	JAN	JANITOR
AL	ALUMINUM	MECH	MECHANICAL
CPT	CARPET	MED PREF	MEDICINE PREPARATION
CH	CEILING HEIGHT	MIN	MINIMUM
CFCI	CONTRACTOR FURNISHED CONTRACTOR INSTALLED CORNER GUARD CONTROL JOINT	NTS	NOT TO SCALE
CG	CORNER GUARD	OFCI	OWNER FURNISHED CONTRACTOR INSTALLED ON CENTER
CL	CENTER LINE	OFOI	OWNER FURNISHED OWNER INSTALLED OPERATING ROOM
CMU	CONCRETE MASONRY UNIT	OR	
CT	CERAMIC TILE	PT	PAINT
DEPT	DEPARTMENT	QT	QUARRY TILE
DN	DOWN	REF	REFRIGERATOR
EIFS	EXTERIOR INSULATED FINISH SYSTEM	RB	RESILIENT BASE
EJ	EXPANSION JOINT	SCW	SOLID CORE WOOD
ELEC	ELECTRICAL	SAC	SUSPENDED ACOUSTICAL
ELEV	ELEVATOR	CEILING	
EQ	EQUAL	CEILING	
ETR	EXISTING TO REMAIN	CEILING	
FD	FLOOR DRAIN	CEILING	
FE	FIRE EXTINGUISHER	CEILING	
FEC	FIRE EXTINGUISHER CABINET	CEILING	
FFE	FINISHED FLOOR ELEVATION	CEILING	
FHC	FIRE HOSE CABINET	CEILING	
FR	FIRE RETARDANT FIRE RATED	CEILING	
GALV	GALVANIZED	CEILING	
GWB	GYPSUM WALLBOARD	CEILING	
HM	HOLLOW METAL HEATING VENTILATION AIR CONDITIONING	CEILING	
HVAC	HEATING VENTILATION AIR CONDITIONING	CEILING	
		VCT	VINYL COMPOSITION TILE
		VERT	VERTICAL
		VWC	VINYL WALL COVERING
		WO	WOOD
		WS	WEATHER STRIP
		WSV	WELDED SHEET VINYL
		WWM	WELDED WIRE MESH

Symbols Legend



Alternates

ALTERNATE 1:
PROVIDE A LINE-ITEM COST TO ELIMINATE ALL AREAS AND ASSOCIATED WORK IN THE BASEMENT EXCEPT FOR CLOSET 002A, STAIR 003, MECHANICAL 006, ELEVATOR 007, STAIR 012, ARMORY 014, AND MECHANICAL 021.

- ARCHITECTURE:

- CLOSET 002A, STAIR 003, MECHANICAL 006, ELEVATOR 007, STAIR 012, ARMORY 014, AND MECHANICAL 021 AND ALL ASSOCIATED SCOPE ARE TO BE MAINTAINED, UNLESS NOTED OTHERWISE.
- THE REPLACEMENT OF ALL EXISTING WINDOWS TO BE MAINTAINED, AND FILM AND WINDOW SHADES ARE TO BE PROVIDED AS ORIGINALLY INDICATED.
- SPRAY FOAM INSULATION SCOPE WITH NEW WOOD STUDS AROUND THE EXTERIOR TO REMAIN IN SCOPE. PROVIDE INTUMESCENT PROTECTIVE COATING IN THE ALTERNATE ONLY.
- INTERIOR FINISHES TO BE PROVIDED ONLY IN MAINTAINED ROOMS. EXISTING UNFINISHED CONCRETE IS TO BE SEALED. EXISTING CEILING THROUGH ALL AREAS REMOVED FROM SCOPE TO BE OTS. ALL DEMOLITION WORK IN THE BASEMENT IS TO REMAIN IN SCOPE.

- MECHANICAL:

- CLOSET 002A, STAIR 003, MECHANICAL 006, ELEVATOR 007, STAIR 012, ARMORY 014, AND MECHANICAL 021 AND ALL ASSOCIATED SCOPE ARE TO BE MAINTAINED, UNLESS NOTED OTHERWISE.
- AHU-016 AND AHU-001B SHALL BE DELETED FROM SCOPE.
- CONTRACTOR TO PROVIDE AIR DISTRIBUTION TO UNFINISHED AREAS FROM AHU-13 AND AHU-001A BY MEANS OF OPEN DUCT WITH VOLUME DAMPER.
- VENTILATION DUCTWORK IS TO REMAIN IN SCOPE.

- PLUMBING:

- CONTRACTOR TO PROVIDE SANITARY WASTE STUB UPS THROUGHOUT ALL AREAS REMOVED FROM SCOPE.
- PLUMBING TRENCH WORK TO REMAIN IN SCOPE.
- REMOVE DOMESTIC WATER PIPING FEEDING FIXTURES BACK TO MAIN AND PROVIDE ISOLATION VALVES FOR FUTURE CONNECTIONS.
- PEX PIPING IS ALLOWED FOR DOMESTIC WATER PIPING. PIPING SHALL BE INSULATED.

- ELECTRICAL:

- CLOSET 002A, STAIR 003, MECHANICAL 006, ELEVATOR 007, STAIR 012, ARMORY 014, AND MECHANICAL 021 AND ALL ASSOCIATED SCOPE ARE TO BE MAINTAINED.
- PROVIDE FIRE ALARM, EXIT SIGNS, AND LED LIGHTING THROUGHOUT BASEMENT. CHAIN PUNG LED LIGHTS TO BE USED IN UNFINISHED SPACES.

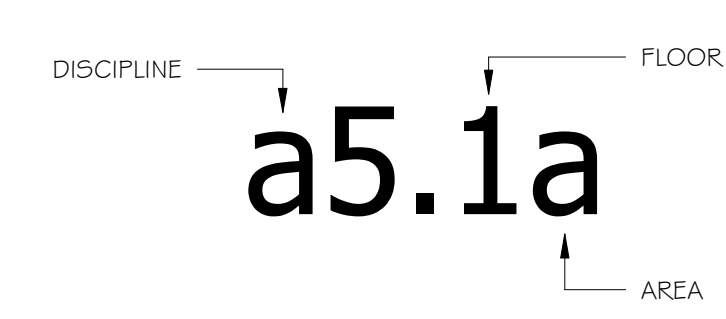
- FIRE SUPPRESSION:
MAINTAIN REQUIRED FIRE SUPPRESSION THROUGHOUT BASEMENT.

ALTERNATE 2:
DO NOT INSTALL ELEVATOR EQUIPMENT. INFRASTRUCTURE TO REMAIN.

ALTERNATE 3:
INSTALL METAL ROOF IN LIEU OF 15# FELT PAPER ARCHITECTURAL 3-TAB ASPHALT/FLYSHING AND CONTINUOUS RIDGE CAP.

ALTERNATE 4:
PROVIDE 6" WOODEN PRIVACY FENCE ALONG EAST SIDE OF PROPERTY WHERE CHAINLINK FENCE IS DEMOLISHED.

Sheet No. System

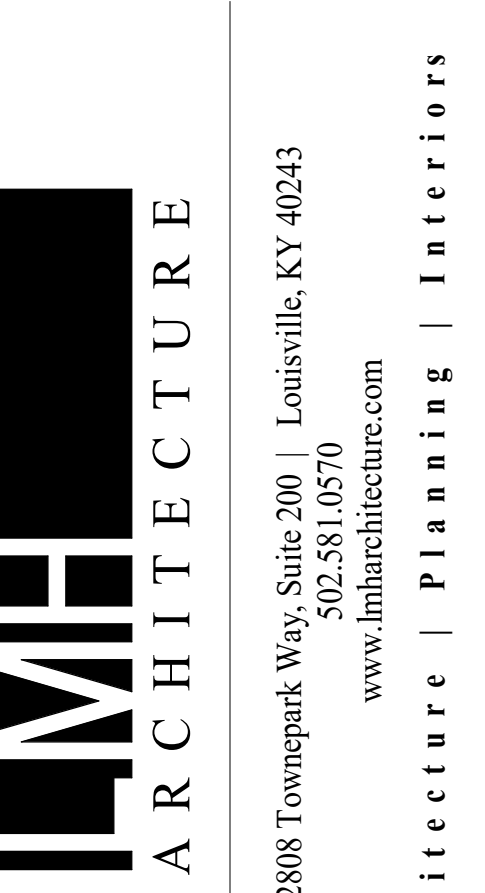


Vicinity Map



Code Criteria - Legends and Abbreviations

Revisions
2 Addendum 2 06.12.2024



Project Number: LYN2301
Date: May 8, 2024
Sheet Number: x1

